

**AN ORDINANCE**

**AMENDING THE UNIFIED DEVELOPMENT CODE BY REPLACING TABLES 1.10.5 AND 4.1.1 IN THEIR ENTIRETY, ADDING A PROVISION TO THE DEFINITION OF A DWELLING, REVISING THE LANDMARK COMMISSION VOTE REQUIREMENT AT SUBSECTION 3.16.2.B.1, AMENDING A PORTION OF TABLE 7.2.2.B. REGARDING INDOOR RECREATION, AND AMENDING THE URBAN TRANSPORTATION PLAN DESIGN CRITERIA MANUAL, APPENDIX TO UDC ARTICLE 8, BY INSERTING REVISED FIGURES 1A AND 3 THROUGH 13; PROVIDING FOR SEVERANCE; PROVIDING FOR PUBLICATION; PROVIDING FOR AN EFFECTIVE DATE AND PROVIDING FOR PENALTIES.**

**WHEREAS**, the Planning Commission has forwarded to the City Council its reports and recommendations concerning the amendments to the Corpus Christi, Texas Unified Development Code (the "Unified Development Code"); and

**WHEREAS**, with proper notice to the public, public hearings were held on Wednesday June 22, 2011, during a meeting of the Planning Commission, and on Tuesday, June 28, 2011 during a meeting of the City Council, in the Council Chambers, at City Hall, in the City of Corpus Christi, during which all interested persons were allowed to appear and be heard; and

**WHEREAS**, the City Council has determined that this amendment would best serve public health, necessity, convenience and the general welfare of the City of Corpus Christi and its citizens.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORPUS CHRISTI, TEXAS, THAT:**

**SECTION 1.** Table 1.10.5, providing existing and new zoning district names, is replaced in its entirety with the following:

**Table 1.10.5**

Existing Zoning District Name		New Zoning District Name	
<b>Residential Districts</b>			
FR	Farm-Rural	FR	Farm Rural
RE	Residential Estate	RE	Residential Estate
RA	One-Family Dwelling	RS-15	Single-Family 15
R-1A	One-Family Dwelling	RS-10	Single-Family 10
R-1B	One-Family Dwelling	RS-6	Single-Family 6
R-1C	One-Family Dwelling	RS-4.5	Single-Family 4.5
R-TH	Townhouse Dwelling	RS-TH	Townhouse
R-2	Multiple Dwelling	RS-TF	Two-Family

Existing Zoning District Name		New Zoning District Name	
A-1	Apartment House	RM-1	Multifamily 1
A-1A	Apartment House	RM-2	Multifamily 2
A-2	Apartment House	RM-3	Multifamily 3
AT	Apartment Tourist	RM-AT	Multifamily AT
T-1B	Manufactured Home Park	RMH	Manufactured Home
T-1C	Manufactured Home Sub-division		
Nonresidential Districts			
AB	Professional Office	ON	Office
B-1	Neighborhood Business	CN-1	Neighborhood Commercial
B-1A	Neighborhood Business	CN-2	Neighborhood Commercial
B-2	Bayfront Business	CR-1	Resort Commercial
B-2A	Barrier Island Business	CR-2	Resort Commercial
BD	Corpus Christi Beach Design	CR-3	Resort Commercial
B-3	Business & General Business	CG-1	General Commercial
B-4	Business & General Business	CG-2	General Commercial
B-5	Primary Business	CI	Intensive Commercial
B-6	Primary Business Core	CBD	Downtown Commercial
I-1	Limited Industrial	BP	Business Park
I-2	Light Industrial	IL	Light Industrial
I-3	Heavy Industrial	IH	Heavy Industrial
T-1A	Travel Trailer Park	RV	Recreational Vehicle Park
Special Districts			
PUD-1 and PUD-2,	Planned Unit Development	-PUD	Planned Unit Dev. Overlay
HC, HC-I, HC-II, HC-III, HC-IV, HC-F, HC-A	Historic Overlay	-H	Historic Overlay
SP	Special Permit	-SP	Special Permit
-IO	Island Overlay	-IO	Island Overlay
-CH	Cottage Housing	-CH	Cottage Housing

**SECTION 2.** The definition of dwelling at Section 1.11.3 is revised to read as follows:

**“1.11.3 Defined Terms**

\* \* \* \* \*

**“Dwelling:** A building designed or used for residential occupancy, including a single-family detached house, zero lot line house, traditional house, semi-attached house, manufactured home, two-family house, townhouse and apartment. Overnight accommodations as described in **Subsection 5.1.4** shall not be considered dwelling units. Single-family residential dwelling units shall only have one meter per utility; an additional meter shall be allowed only for agricultural/irrigation uses.”

\* \* \* \* \*

**SECTION 3.** Subsection 3.16.2.B.1, providing for Landmark Commission final action in the review process regarding the certificate of appropriateness for demolition, is revised to read as follows:

**“B. Landmark Commission Final Action**

1. Following notice in accordance with **Subsection 3.1.7**, the Landmark Commission shall hold a public hearing and approve, approve with conditions, or deny the certificate of appropriateness for demolition. Any action taken by the Landmark Commission to demolish, change the exterior of or remove property on the preservation plan shall require a favorable vote of at least three-fourths a majority of the Landmark Commission members.”

**SECTION 4.** Table 4.1.1, entitled Zoning Districts, is replaced in its entirety with the following:

**Table 4.1.1 Zoning Districts**

<b>Base Zoning Districts</b>		<b>Existing Designation</b>
<b>Residential Districts</b>		
FR	Farm-Rural	FR
RE	Residential Estate	RE
RS-15	Single-Family 15	RA
RS-10	Single-Family 10	R-1A
RS-6	Single-Family 6	R-1B
RS-4.5	Single-Family 4.5	R-1C
RS-TH	Townhouse	R-TH
RS-TF	Two-Family	R-2
RM-1	Multifamily 1	A-1
RM-2	Multifamily 2	A-1A
RM-3	Multifamily 3	A-2
RM-AT	Multifamily AT	AT
RM-H	Manufactured Home	T1-B and T1-C
<b>Nonresidential Districts</b>		
CN-1	Neighborhood Commercial	B-1
CN-2	Neighborhood Commercial (Limited)	B-1A
ON	Office	AB
CR-1	Resort Commercial (Bayfront)	B-2
CR-2	Resort Commercial (Barrier Island)	B-2A
CR-3	Resort Commercial (Corpus Christi Beach)	BD
CG-1	General Commercial	B-3

(Limited)		
CG-2	General Commercial	B-4
CI	Intensive Commercial	B-5
CBD	Downtown Commercial	B-6
BP	Business Park	I-1
IL	Light Industrial	I-2
IH	Heavy Industrial	I-3
RV	Recreational Vehicle Park	T-1A
<b>Special Districts</b>		
-PUD	Planned Unit Dev. Overlay	PUD-1 and PUD-2
-H	Historic Overlay	HC, HC-I, HC-II, HC-III, HC-IV, HC-F, and HC-A
-SP	Special Permit	-SP
-IO	Island Overlay	-IO
-CH	Cottage Housing	-CH

**SECTION 5.** Table 7.2.2.B, entitled Parking Ratios, is amended by dividing into two sections the portion of the Table which provides for indoor recreation, as follows:

Commercial Uses		
Indoor Recreation [5.1.4.B]	Bowling alley	5.6 per lane
	All other uses	1 per 100 SF

**SECTION 6.** The Urban Transportation Plan Design Criteria Manual which is an Appendix to Article 8, is amended by replacing the figures listed below with the attached figures of the same name found at Exhibit A of this ordinance.

- FIGURE 1A: LOCAL STREET SECTIONS
- FIGURE 3: C-1 RESIDENTIAL COLLECTOR
- FIGURE 4: C-2 SECONDARY COLLECTOR
- FIGURE 5: C-3A PRIMARY COLLECTOR
- FIGURE 6: C-3B PRIMARY COLLECTOR
- FIGURE 7: P-1 PARKWAY
- FIGURE 8: A-1 MINOR ARTERIAL
- FIGURE 9: A-2 SECONDARY ARTERIAL
- FIGURE 10: A-3 PRIMARY ARTERIAL
- FIGURE 11: RA-1 RURAL ARTERIAL
- FIGURE 12: RA-2 SECONDARY RURAL ARTERIAL
- FIGURE 13: RA-3 PRIMARY RURAL ARTERIAL

**SECTION 7.** The Unified Development Code text, approved and to be effective July 1, 2011, remains as previously approved, except as changed by this ordinance.

**SECTION 8.** If, for any reason, any section, paragraph, subdivision, clause, phrase, word, or provision of this ordinance shall be held invalid or unconstitutional by final judgment of a court of competent jurisdiction, it shall not affect any other section, paragraph, subdivision, clause, phrase, word, or provision of this ordinance, for it is the definite intent of this City Council that every section, paragraph, subdivision, clause, phrase, word, or provision hereof be given full force and effect for its purpose.

**SECTION 9.** Publication of this ordinance shall be made in the official publication of the City of Corpus Christi, as required by the City Charter of the City of Corpus Christi, Texas. After said publication this ordinance shall be in full force and effect.

**SECTION 10.** Upon said ordinance becoming effective, a violation of this ordinance or the requirements implemented under this ordinance constitutes an offense punishable as provided in Section 1.10.1 and/or Article 10 of the Unified Development Code.

Signatures at next page.

The foregoing ordinance was read for the first time and passed to its second reading on this the 28<sup>th</sup> day of June, 2011, by the following vote:

Joe Adame	<u>Aye</u>	David Loeb	<u>Aye</u>
Chris N. Adler	<u>Aye</u>	John E. Marez	<u>Absent</u>
Larry R. Elizondo, Sr.	<u>Absent</u>	Nelda Martinez	<u>Aye</u>
Kevin Kieschnick	<u>Aye</u>	Mark Scott	<u>Aye</u>
Priscilla Leal	<u>Absent</u>		

The foregoing ordinance was read for the second time and passed finally on this the 12<sup>th</sup> day of July, 2011, by the following vote:

Joe Adame	<u>Absent</u>	David Loeb	<u>Aye</u>
Chris N. Adler	<u>Absent</u>	John E. Marez	<u>Aye</u>
Larry R. Elizondo, Sr.	<u>Aye</u>	Nelda Martinez	<u>Aye</u>
Kevin Kieschnick	<u>Aye</u>	Mark Scott	<u>Aye</u>
Priscilla Leal	<u>Aye</u>		

PASSED AND APPROVED this the 12<sup>th</sup> day of July, 2011.

ATTEST:

Armando Chapa  
Armando Chapa  
City Secretary

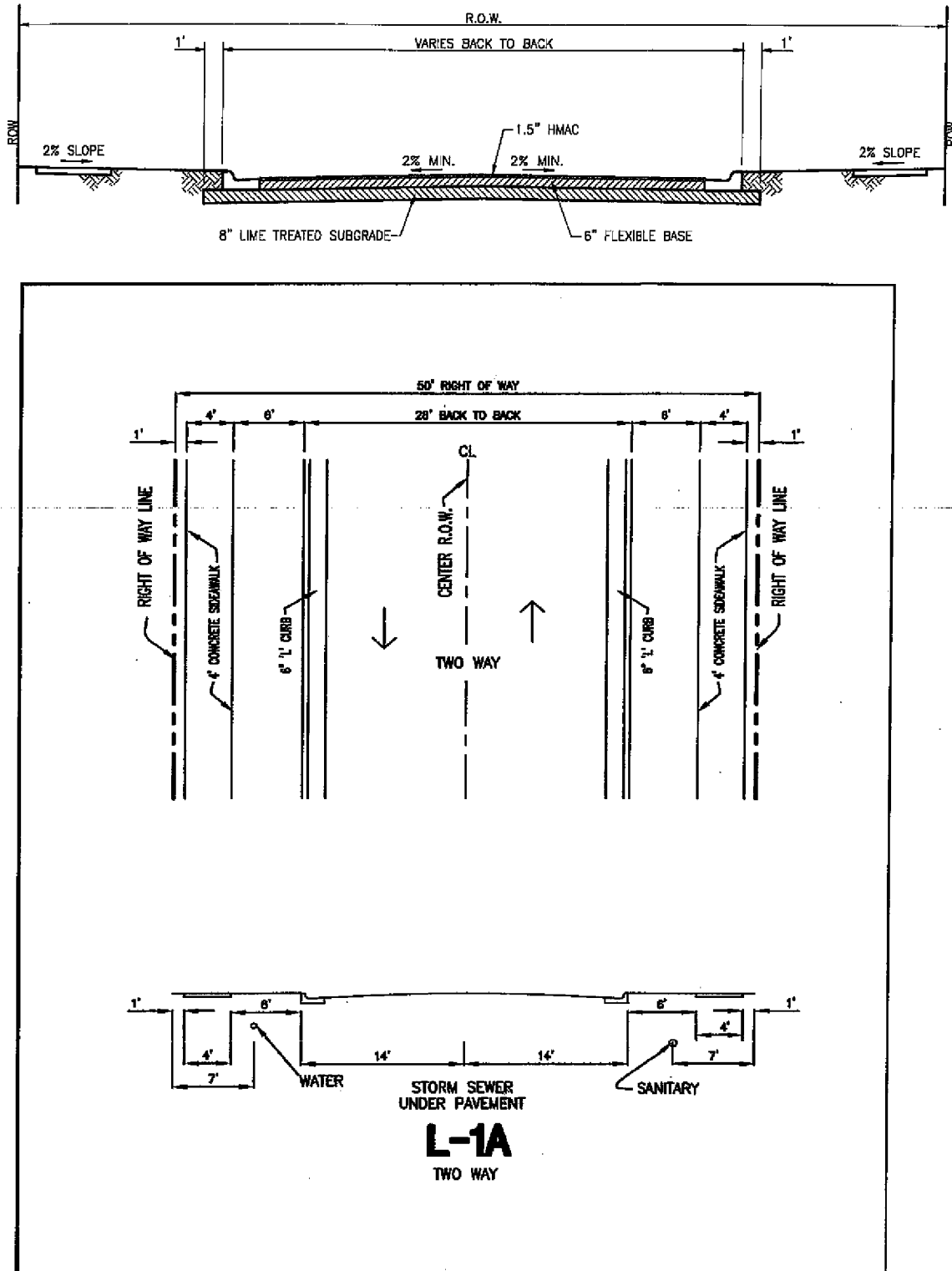
Joe Adame  
Joe Adame  
Mayor

APPROVED as to form: This 23rd day of June, 2011:

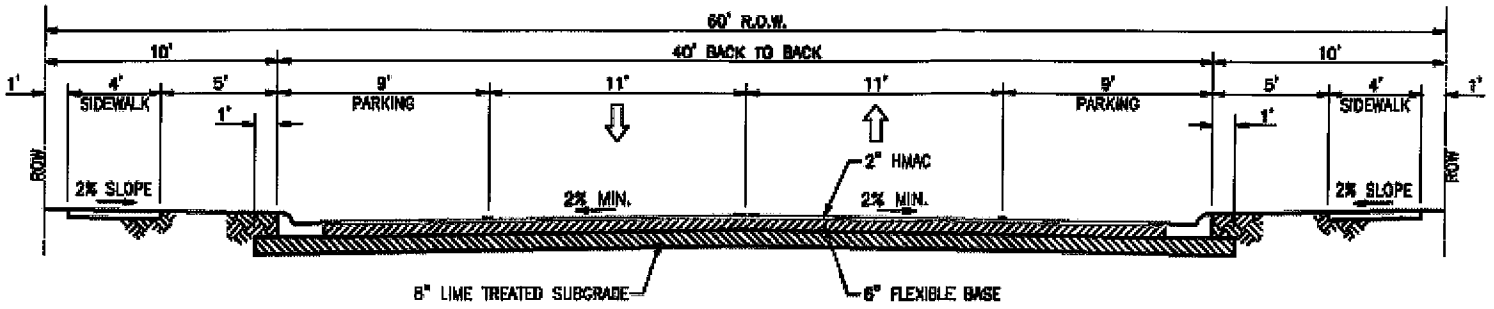
Deborah Walther Brown  
Deborah Walther Brown  
Assistant City Attorney  
For City Attorney

**FIGURE 1A : LOCAL STREET SECTIONS**

**FIGURE 1A: TYPICAL LOCAL STREET**



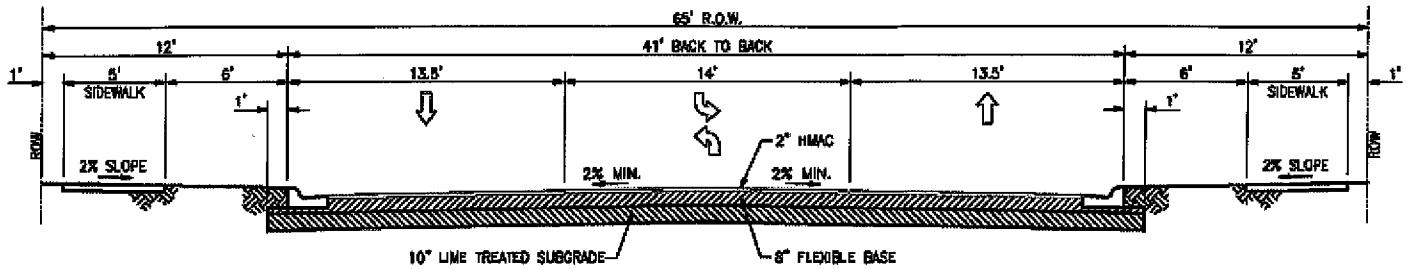
**FIGURE 3: C-1 RESIDENTIAL COLLECTOR**



Functional Designation:	Urban Transportation Plan C-1
Right-of-Way:	60-feet
Street Width:	40 foot back-of-curb to back-of-curb
Desirable ADT Range:	500 to 3,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	25 mph, 30 mph
Length:	Less than 1-mile
On-Street Parking:	Yes
Widening:	Widening at collector or arterial intersections may be required as needed.
Horizontal Curve Radius:	Minimum 300 foot centerline radius for normal crown.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line



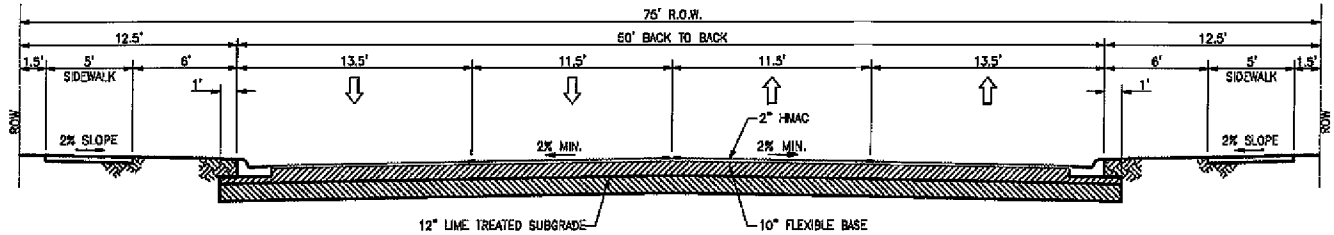
**FIGURE 4: C-2 SECONDARY COLLECTOR**



Functional Designation:	Urban Transportation Plan C-2
Right-of-Way:	Minimum 65 feet, alternative 73 feet*
Street Width:	41 feet back-of-curb to back-of-curb
Desirable ADT Range:	3,000 to 7,500 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	30 mph, 35 mph
Length:	1 to 2 miles
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector and arterial intersections to provide separate right turn lanes and mid-block widening for deceleration lanes as necessary.
Horizontal Curve Radius:	Minimum 450 foot centerline radius with normal crown
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards.
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line

\* Note: The 73 foot right of way may provide for two 4 foot paved bicycle lanes (5.5-ft to face of curb).

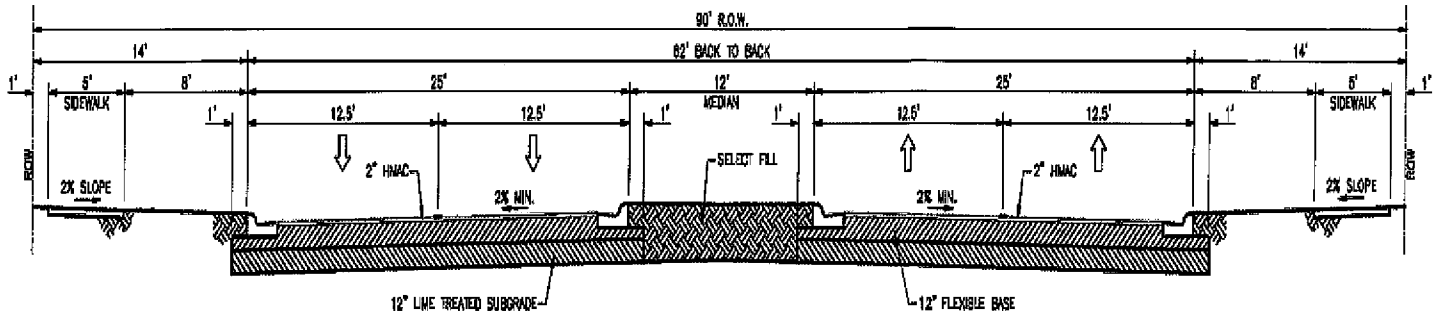
**FIGURE 5: C-3A PRIMARY COLLECTOR**



Functional Designation:	Urban Transportation Plan C-3A
Right-of-Way:	Minimum 74 feet, alternative 82 feet*
Street Width:	50 feet back-of-curb to back-of-curb
Typical ADT Range:	2,500 to 14,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Length:	2 to 4 miles
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector and arterial intersections to provide separate right turn lanes and mid-block widening for deceleration lanes as necessary.
Horizontal Curve Radius:	Minimum 600 foot centerline radius with normal crown
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards.
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line

\* Note: 82-foot right of way may provide for two 4 foot paved bicycle lanes (5.5 ft to face of curb).

**FIGURE 6: C-3B PRIMARY COLLECTOR\***

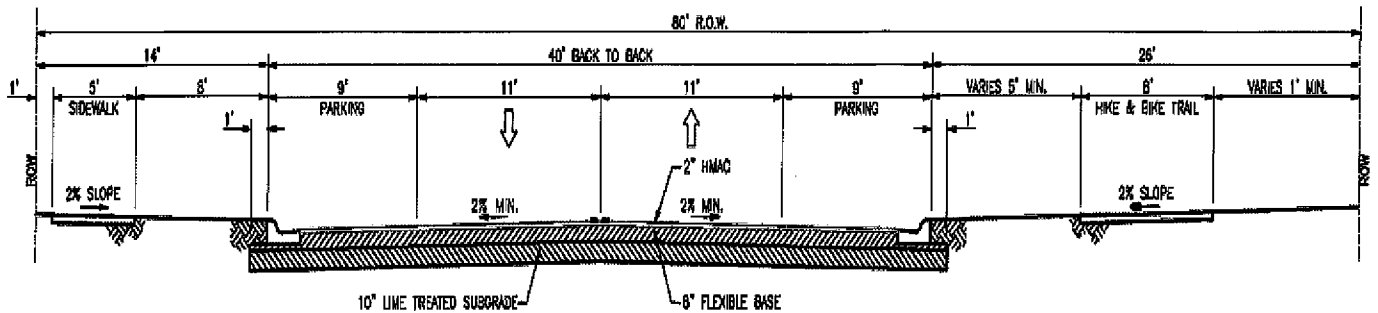


Functional Designation:	Urban Transportation Plan C-3B
Right-of-Way:	Minimum 87 feet, alternative 95 feet**
Street Width:	58 feet back-of-curb to back-of-curb
Typical ADT Range:	2,500 to 14,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	30 mph, 35 mph, 40 mph
Length:	2 to 4 miles
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector and arterial intersections to provide separate right turn lanes and mid-block widening for deceleration lanes as necessary.
Horizontal Curve Radius:	Minimum 600 foot centerline radius with normal crown
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line

\* Note: If section is mandated by the City, the City is responsible for median maintenance.

\*\*Note: 95-foot right of way may provide for two 4 foot paved bicycle lanes (5.5 ft to face of curb).

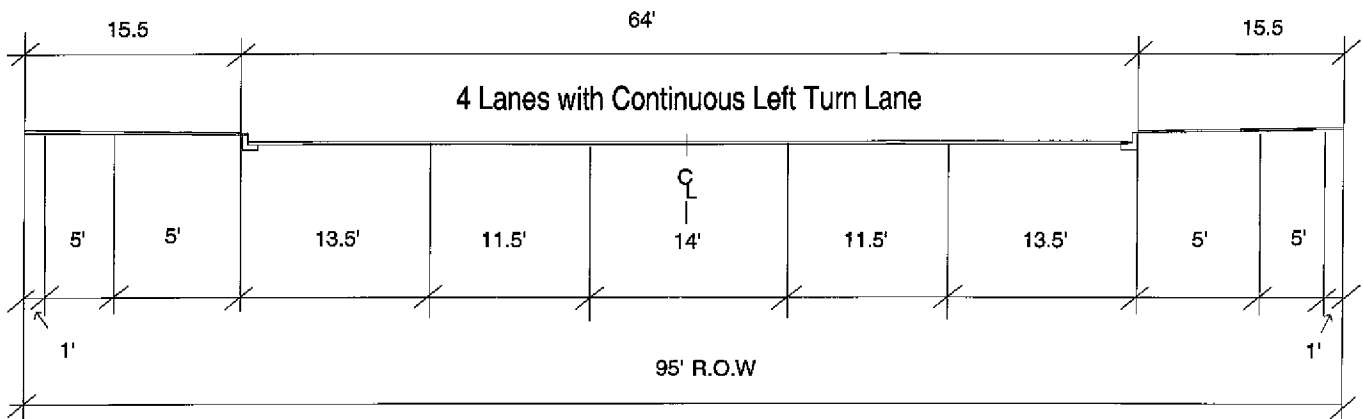
**FIGURE 7: P-1 PARKWAY**



Functional Designation:	Urban Transportation Plan P-1
Right-of-Way:	80 feet
Street Width:	40 feet back-of-curb to back-of-curb
Typical ADT Range:	500 to 3,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	35 MPH (restricted to 30 MPH or less)
Length:	1 - 10 miles
Sidewalk:	On house side: 5-ft width, separated from street curb with 4 -to- 8 foot grass strip; on natural view side: minimum 8-ft meandering hike-and-bike trail with minimum 5-foot separation from street curb
On-Street Parking:	Yes*
Widening:	Widening at arterial streets to provide separate right turn and left turn lanes
Horizontal Curve Radius:	Minimum 600 foot centerline radius with normal crown
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards
Water/Sanitary Sewer	To be located between back of curb and right-of-way line

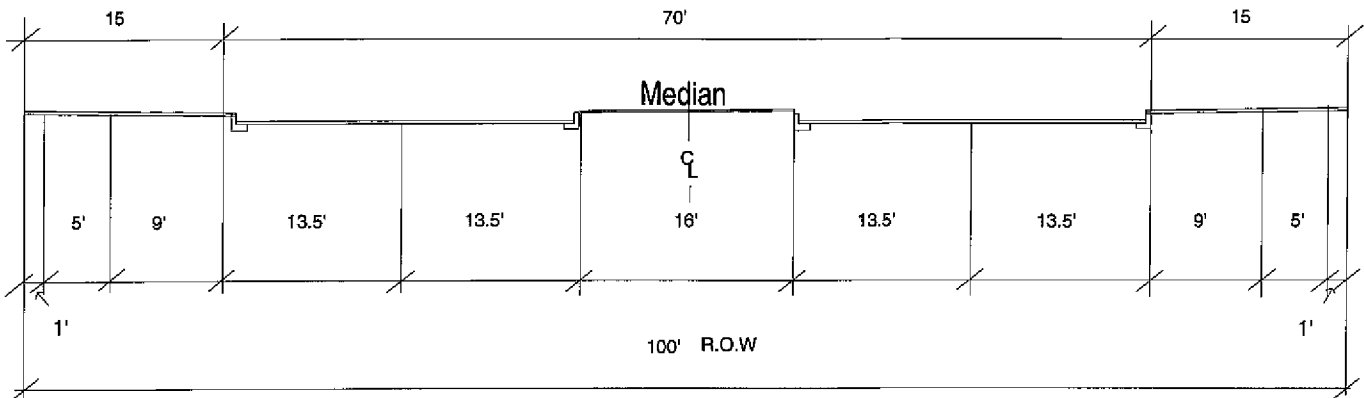
\* Note: In certain circumstances, the City may elect to prohibit curbside parking along the natural view side of the street to allow for a dedicated and marked on-street bicycle lane on each side of the street. On the residential side of the street a dedicated bicycle lane would be provided between the parking lane and travel lane. Provision of bicycle lanes would be designated on the Master Bicycle Plan as an official bicycle route.

**FIGURE 8: A-1 MINOR ARTERIAL**



Functional Designation:	Urban Transportation Plan A-1
Right-of-Way:	95 feet
Street Width:	64 feet back-of-curb to back-of-curb to provide four lanes plus a continuous center turn lane
Typical ADT Range:	10,000 - 24,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	35 - 45 mph
Length:	Less than 5 miles
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector or higher street type intersections for single or double right and left turn lanes, and mid-block deceleration lanes as necessary.
Horizontal Curve Radius:	Minimum 750 foot centerline radius with normal crown
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards.
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan. Bikeways shall meet AASHTO standards.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line

**FIGURE 9: A-2 SECONDARY ARTERIAL**

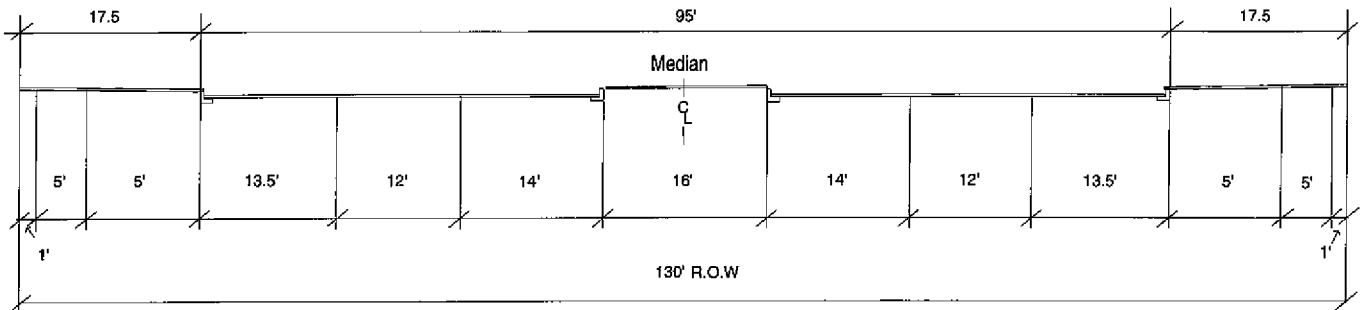


Functional Designation:	Urban Transportation Plan A2
Right-of-Way:	100 feet
Street Width:	70 feet back-of-curb to back-of-curb with median*
Typical ADT Range:	16,000 - 26,500 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	35 - 45 mph
Length:	Less than 5 miles
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector or higher street type intersections for single or double right and left turn lanes, and mid-block deceleration lanes as necessary.
Horizontal Curve Radius:	Minimum 900 foot centerline radius with normal crown
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards.
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan. Bikeways shall meet AASHTO standards.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line

\*Mid-block median openings shall be provided with left turn channelization at intersecting streets having C1 functional classification and above and at non-intersection median openings at minimum 1,000-ft spacing. If section is mandated by

the City, the City is responsible for median maintenance.

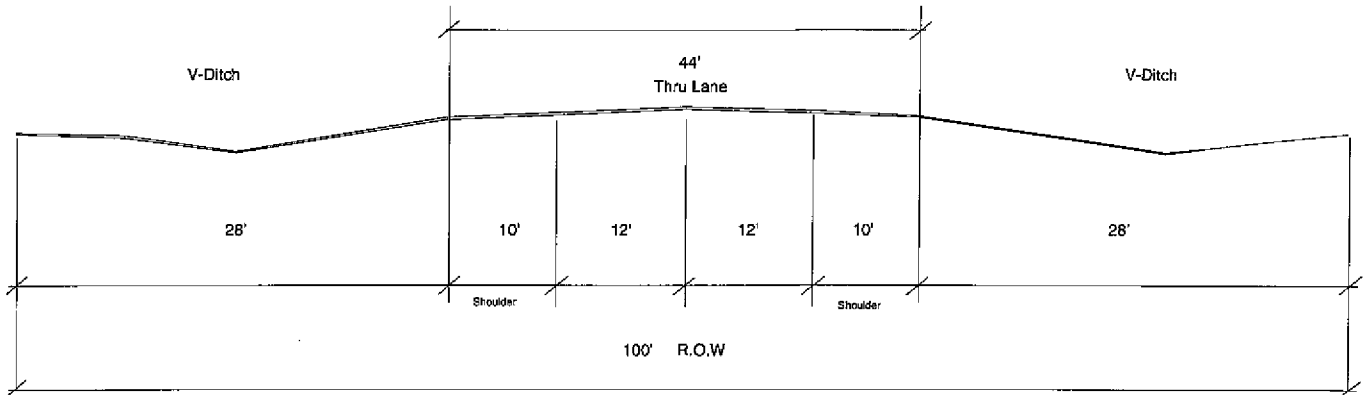
**FIGURE 10: A-3 PRIMARY ARTERIAL**



<b>Functional Designation:</b>	Urban Transportation Plan A3
<b>Right-of-Way:</b>	130 feet
<b>Street Width:</b>	95 feet back-of-curb to back-of-curb with median*
<b>Typical ADT Range:</b>	25,000 - 36,000 vehicles per day
<b>Paving Section:</b>	Design based on site specific Geotechnical Testing and Engineering analysis.
<b>Design Speed:</b>	45 - 55 mph
<b>Length:</b>	5 miles or greater
<b>On-Street Parking:</b>	Parking restricted at all times
<b>Intersection Widening:</b>	Widening at collector or higher street type intersections for single or double right and left turn lanes, and mid-block deceleration lanes as necessary.
<b>Horizontal Curve Radius:</b>	Minimum 900 foot centerline radius with normal crown
<b>Utility Placement:</b>	Behind back of curb only.
<b>Residential Driveway:</b>	Prohibited
<b>Utility Easements:</b>	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards.
<b>Bikeway:</b>	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan. Bikeways shall meet AASHTO standards.
<b>Water/Sanitary Sewer</b>	To be located between back of curb and right-of-way line

\*Mid-block median openings shall be provided with left turn channelization at intersecting streets having C1 functional classification and above and at non-intersection median openings at minimum 1,000-ft spacing. If section is mandated by the City, the City is responsible for median maintenance.

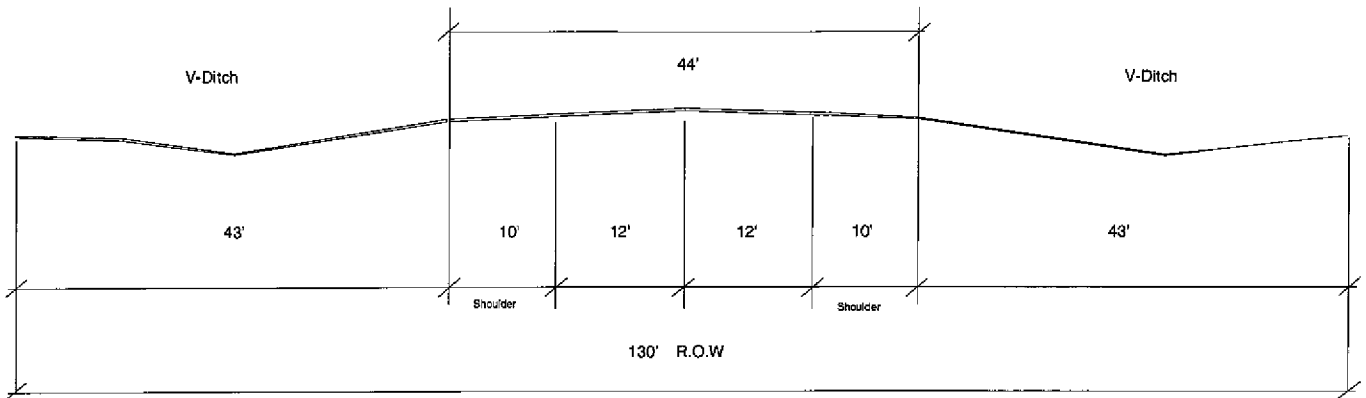
**FIGURE 11: RA-1 RURAL ARTERIAL**



Functional Designation:	Urban Transportation Plan RA1
Right-of-Way:	100-feet
Street Width:	44 feet to provide two lanes with shoulders
Typical ADT Range:	10,000 - 15,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	over 50 mph
Length:	Five miles and greater
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector or higher street type intersections for single or double right and left turn lanes, and mid-block deceleration lanes as necessary.
Horizontal Curve Radius:	TxDOT Standard
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards.
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan. Bikeways shall meet AASHTO standards.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line

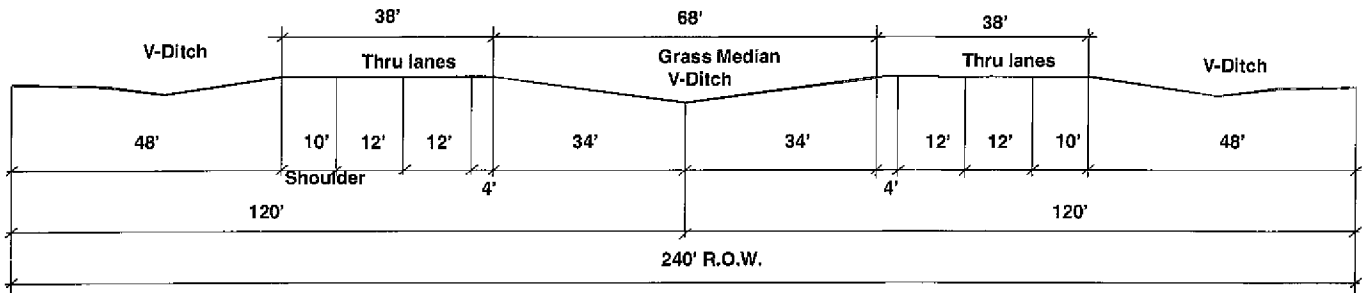


**FIGURE 12: RA-2 SECONDARY RURAL ARTERIAL**



Functional Designation:	Urban Transportation Plan RA2
Right-of-Way:	130 feet
Street Width:	44 feet to provide four lanes
Typical ADT Range:	20,000 - 30,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	over 50 mph
Length:	Five miles and greater
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector or higher street type intersections for single or double right and left turn lanes, and mid-block deceleration lanes as necessary.
Horizontal Curve Radius:	TxDOT Standard
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards.
Water/Sanitary Sewer	To be located between back of curb and right-of-way line
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan. Bikeways shall meet AASHTO standards.

**FIGURE 13: RA-3 PRIMARY RURAL ARTERIAL**



Functional Designation:	Urban Transportation Plan RA3
Right-of-Way:	240-feet
Street Width:	76-feet to provide four lanes, grass median and two shoulders
Typical ADT Range:	25,000 - 35,000 vehicles per day
Paving Section:	Design based on site specific Geotechnical Testing and Engineering analysis.
Design Speed:	over 50 mph
Length:	Five miles and greater
On-Street Parking:	Parking restricted at all times
Widening:	Widening at collector or higher street type intersections for single or double right and left turn lanes, and mid-block deceleration lanes as necessary.
Horizontal Curve Radius:	TxDOT Standard
Residential Driveway:	Prohibited
Utility Easements:	May be required, if justified by the adopted Master Plan and applicable Engineering Design Standards
Water/Sanitary Sewer	Located between back of curb and right-of-way line
Bikeway:	Widening may be required if the street is designated as a bikeway on the City's Bicycle and Pedestrian Plan. Bikeways shall meet AASHTO standards.

PUBLISHER'S AFFIDAVIT

State of Texas }  
County of Nueces }

CITY OF CORPUS CHRISTI  
Ad # 5973012  
PO #

Before me, the undersigned, a Notary Public, this day personally came GEORGIA LAWSON, who being first duly sworn, according to law, says that she is LEGAL SALES REPRESENTATIVE AND EMPLOYEE OF THE PUBLISHER, namely, the *Corpus Christi Caller-Times*, a daily newspaper published at Corpus Christi in said City and State, generally circulated in Aransas, Bee, Brooks, Duval, Jim Hogg, Jim Wells, Kleberg, Live Oak, Nueces, Refugio, and San Patricio, Counties, and that the publication of, NOTICE OF PASSAGE OF ORDINANCE NO. 02912 which the annexed is a true copy, was inserted in the *Corpus Christi Caller-Times* on the 7/18/2011, 7/18/2011.

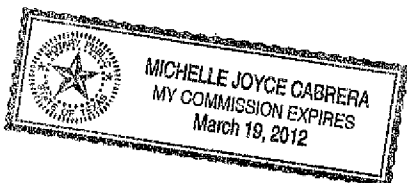
\$ 128.76

LEGAL SALES REPRESENTATIVE

1Time(s)

On this 21<sup>st</sup> day of July, 2011 I certify that the attached document is a true and an exact copy made by publisher.

Notary Public, State of Texas



11 JUL 31 AM 10:06  
FINANCE DEPARTMENT

Legal Notices III

**NOTICE OF  
PASSAGE OF  
ORDINANCE NO.  
029125**

Amending the Unified Development Code by replacing tables 1.10.5 & 4.1.1 in their entirety, adding a provision to the definition of a Dwelling, revising the Landmark Commission vote requirement at S-u-b-s-e-c-t-i-o-n 3.16.2.B.1, amending a portion of Table 7.2.2.B regarding indoor recreation, & amending the Urban Transportation Plan Design Criteria Manual, Appendix to UDC Article 8, by inserting revised Figures 1A & 3 through 13. This ordinance was passed & approved on its second reading by the City Council on July 12, 2011. The effective date is July 18, 2011.  
/s/ Armando Chapa  
City Secretary

11 12 2011 10:08  
11 12 2011 10:08